

FACILITY ASSESSMENT BOOKLET

CLINTON PUBLIC LIBRARY

OCTOBER 2017

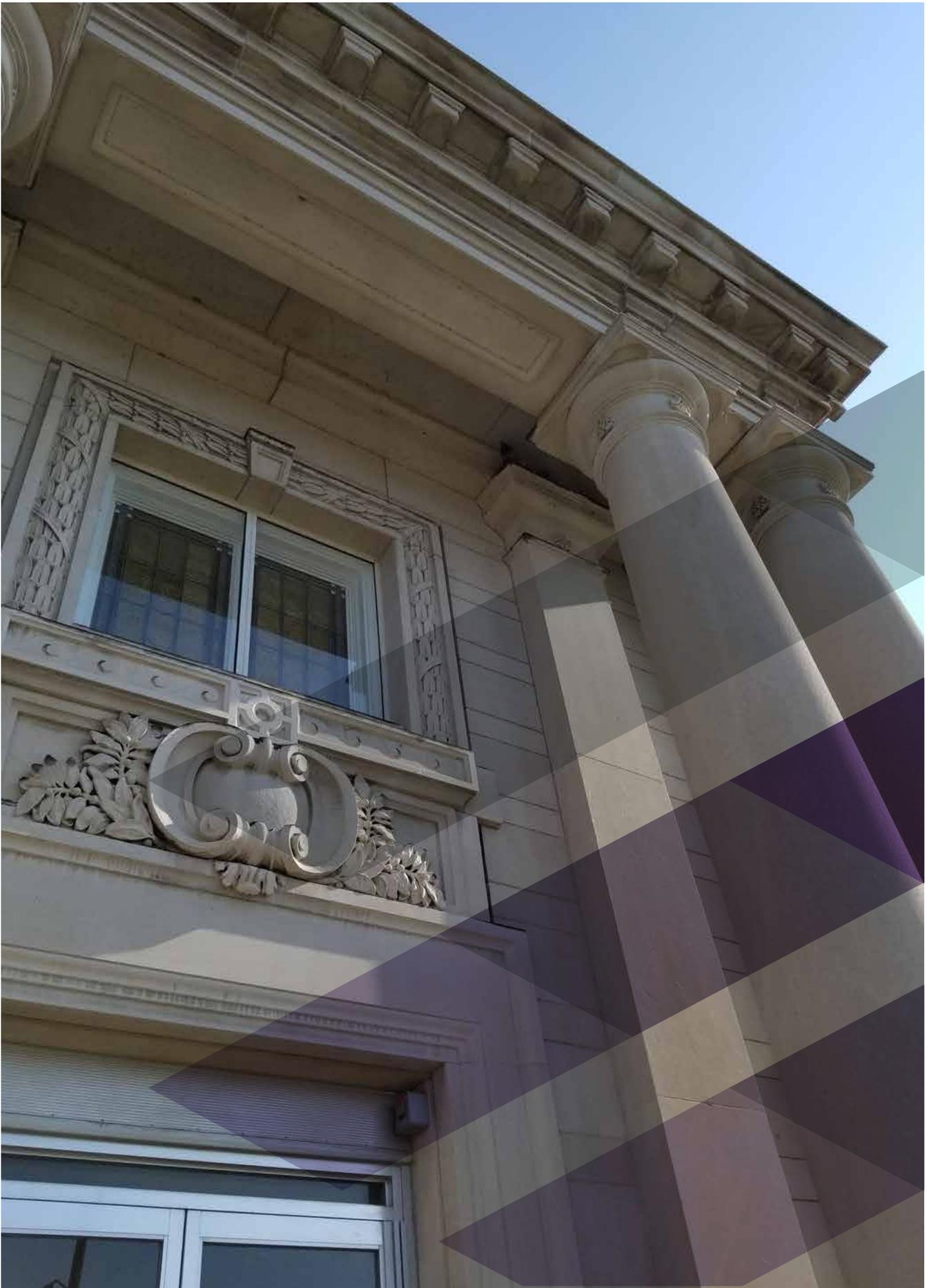


FEH DESIGN

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ARCHITECTURAL REVIEW

01

CLINTON PUBLIC LIBRARY

The Clinton Public Library is an historical three level Beaux-Arts style limestone building funded primarily through the Carnegie Foundation. It was originally constructed in 1904 and has not undergone any major expansions or any major infrastructure work in the last 20 years. The building has benefited from recent maintenance projects but it requires a great deal of work to upgrade the building to allow it to function as a 21st century library.

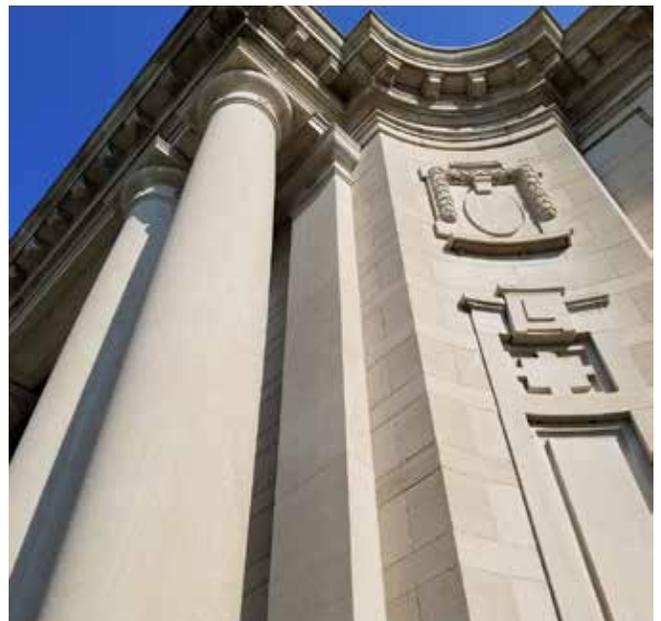
The following is a report of the condition of the current building along with estimated costs for corrections needed.

EXTERIOR

The exterior of the building is constructed of Indiana limestone. Concrete and limestone stairs are used to enter the building on the south main entrance.

The south elevation of the library has multiple areas where the stone is cracking and settling. This is caused by differential movement in the soil below the structure or in the freeze thaw process over years of weathering. Differential movement in the stones is causing some pieces to part from those beside it. This will further aggravate the problem allowing in rain and snow, eventually causing further structural problems.

There are multiple locations along the bases of the pedestals and at the tops of the pedestals where the sealant between



stone pieces has degraded and is now exposing the stone to water. It is critical to maintain the sealant due to the destruction that can happen due to water infiltration.

Similarly, there are also some locations where the foundation meets the base stone where cracking is occurring and holes can be seen along grade. This can expose the building to water and pest infiltration.

There is some discoloration on the stones which is mostly due to weathering and natural dirt build up. Cleaning the stones with as mild a solution as possible is a good way to both keep them looking good, but also to keep them safe from deteriorating due to oil and dirt residue.

There are some windows which are enclosed on the lower level of the building for piping or other reasons. At the time of this assessment the windows are painted and appear to be in fair condition. These wood windows are subject to splash back and water being close to grade so care should be taken with them in the future to ensure degradation of the wood does not occur.

The existing windows on the main and second story appear to be in good condition. Storm windows were installed in front of the historic wood windows which have protected the windows from most weathering. The storm windows that were installed however, do not match the mullion pattern of the historic windows. In historic applications, it is normally preferred to match the storm windows to the mullion pattern of the historic windows so that details and patterns are not lost in the addition of the modern storm windows.

Sill and bracket details around windows appear to be in good condition. Stone window sills tend to receive a great deal of weathering over time. There are some locations where the sill and brackets are made of wood. In those locations there are some visible weathering and deterioration of the surface paint.

Some water staining can be seen on the cornice and dentals along the roof edge. This is most likely due to capillary action of water off the roof edge. Attention should be paid to this area to ensure that damage is not being done to the cornice detailing due to water contact.

Around the exterior building there are multiple condensing units used for the air conditioning system for the building. These units are located on pads which, in some locations create an obstacle for mowing. When plants grow tall along a building they can cause moisture to sit and collect on the base of a wall or along the face of the stone. This can lead to faster degradation of the stone over time.

There are also multiple locations where various piping and conduits are run through the exterior of the building. Each penetration through the stone is an opportunity for water to enter the wall and degrade the stone and interior construction.



Sealing the openings around the piping or conduit and maintaining the sealant is critical.

Railings that border the stairs on both the south and east sides must meet ADA accessible standards. Please refer to the ADA section of this assessment for more information.

The current concrete stairs and sidewalks all around the building are suffering some chipping which can become a tripping hazards for occupants. As these elements move and settle they will cause increasing problems for occupants trying to safely enter and exit the building.

Along the North side of the building there are multiple stairs and platforms used to exit the building. This is causing some staining on the stone. Without proper cleaning, this may lead to additional wear and deterioration of the stone below the brackets.

The northwest corner of the building has an open conduit line that is beginning to rust and expose the wiring inside. Waste and recycling collection buckets are currently being stored on the North side of the building. There needs to be enough space for occupants to exit down the stairs and move a safe distance away from the building in the event of an emergency. These buckets are currently causing a hazard for proper egress.

Along the west façade of the building there is a sloped basement access door. The block surrounding the door is beginning



to deteriorate and the mortar between the blocks has eroded away. Water infiltration in the joints will cause further deterioration with the freeze thaw cycle. The door is also beginning to rust at the edges and the hinges.

Some sealant along the storm windows is failing on the west façade. This will cause water to seep in between the historic and storm windows causing damage and potential rot.

The roof of the library is showing wear and may begin failing in weak places such as pitched valleys and edges. Specifically roof penetrations and roof drain locations will be especially susceptible to wear. The existing metal coping and flashing is in good condition. The terracotta parapet caps are wearing and some of the sealants between pieces as well as wall connections is beginning to fail. The lower standing seam copper roof along the lower cornice is showing wear, but does not look to be failing in any location.



Some of the corner statue details along the roof edge are beginning to show wear and in some locations, are beginning to grow lichen on the surface. This is not unusual, but a light cleaning will help to protect the stone.

Pipes leading from rooftop condensing units through the roof have lost a majority of their insulation which is causing the units to perform inefficiently. The braces that are holding the condensing units are also rusting which may cause long term issues with vibration and structural integrity.

The brick chimney that is exposed on the roof is showing some water wear and degradation at the top and bottom corners. The current grout has also degraded and caused water to sit on the bricks and cause damage and staining.

INTERIOR

The elevator equipment room is required to have at least a one-hour fire rating. There is currently a louver in the door negating any fire rating for the room.

There is some evidence of water damage on the ceiling in the storage room. The existing service stair is too narrow and too steep. Stairs used by the public have a minimum width of 42" clear and the risers cannot exceed 7". The lower level stairs that lead up to the north side of the building show evidence of water infiltration and degradation. This will cause material deterioration over time and a safety hazard for occupants using this exit as a means of egress.

The main public stair has the proper riser height of 7" and the stair tread extends beyond the minimum 11".

The handrails on the elevated platform in the main library space are required to also include a guardrail due to the height. This is required to be mounted at 42" above the walking surface.

Some of the sashes in the upper level windows are showing wear and deterioration. This may be due to water infiltration between the storm window and the historic window.



ADA REVIEW

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The accessible entrance to the west side of the southern exterior stairs does not have the proper pull clearance for ADA compliance. At least 1'-6" must be provided to the pull side of the door and 1'-0" on the push side.

The exterior handrails as well as the northern exit stair are currently made of metal pipe and do not protrude the necessary foot beyond the last step. ADA grasp-ability standards require a maximum of 2" diameter pipe handrail as well.

The stairs and platforms along the North exterior wall of the library create a few locations that do not meet vertical clearance requirements for ADA accessibility. An object is not allowed to protrude into a path of travel between 27" and 80" above the walking surface. This is for a visually impaired person's ability to travel without hitting their head. The stair cases on the exterior do not meet this requirement.

The existing hardware on some interior doors on the lower level and the upper level is knob style and for ADA compliance, lever style is required.

Stairs used by the public require continuous handrails. The current handrail configuration is not continuous and also does not provide the correct extensions at the top and bottom. There are also some locations where interior handrails do not provide the required 1'-0" extension on the top and bottom of the stair. The handrails are also required to be mounted between 34" and 38" above the tread of the stair.

In libraries, the minimum clearance between shelving units is 36" clear. There are multiple locations where the stacks are arranged with less clearance than what is required. The 36" clearance is also required between a shelf and a wall face or baseboard heater.

All publicly accessed water fountains are required to be installed in pairs at two mounting heights to allow for occupants of different reach ranges to use them.

A minimum of half of emergency exits must be fully accessible for wheelchair egress.

All doors in use by the public must have 1'-0" of clearance beside the door on the push side and 1'-6" on the pull side. The existing women's restroom does not meet this requirement.

The existing single toilet room on the main floor is not ADA accessible. The room does not provide the required 5'-0" turning radius for wheelchair turnaround. The toilet paper dispenser, paper towel dispenser, and the soap dispenser are all mounted too high for accessibility standards and protrude more than the allowed 4" from the face of the wall.

The men's restroom also has similar accessibility issues. The toilet paper dispenser is mounted too high and protrudes beyond the 4" maximum of the face of the wall. There is also a third grab bar which is required for ADA compliance. This grab bar would be installed vertically above the 42" bar on the wall parallel to the toilet.

Door widths entering a restroom must be at least 32" clear. The two bathroom doors on the upper floor are 24" wide.



LYON BRANCH

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LYON BRANCH ASSESSMENT

The existing building was constructed in 1954.

EXTERIOR

The exterior of the library is primarily brick with a large roof overhang. Most of the windows are located in the clerestory band with one exception. There are three doors, one on the main façade with one step above grade, a second with a small ramp along the parking lot, and one service entrance. The main front door is a hazard due to the speed and weight of closing. The doors and hardware should be replaced.

The existing front sidewalk does not connect to the parking lot directly. This can be a wayfinding and tripping hazard for occupants of the building.

There are some settling cracks in the planters outside of the front entrance. This may cause water infiltration along the brick and destruction of the stone and brick along the base of the building.

INTERIOR

The existing library is in good condition. It has been retrofitted for air conditioning and data throughout the years. Storage is a primary issue of the library.

The restrooms pose multiple ADA compliance issues. 1'-6" of clearance beside the door is required on the pull side of the door. Some of the fixtures in the restroom are also not at the proper mounting height for ADA accessibility. The toilet paper and the paper towel units are mounted too high for ADA compliance. The units are also only allowed to protrude 4" off the wall. A third grab bar is also required for each toilet. This would be installed vertically on the perpendicular wall to the toilet above the 42" min grab bar.

The existing hardware in the lower level is knob style and for ADA compliance, lever style is required.

The elevator equipment room is required to have at least a one-hour fire rating. There is currently a louver in the door negating any fire rating for the room.



SUMMARY

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SUMMARY OF CLINTON PUBLIC LIBRARY ASSESSMENT

The library is an older building that has been functioning continually as a public library since its construction. There are five categories of building issues: poor function, energy use efficiency, code violations, maintenance concerns and ADA compliance.

The building in its current state serves the library uses of its era. It is struggling to efficiently serve the needs of a 21st century library. Some examples include:

- Rooms with no or very few electrical outlets
- Rooms with no or limited data coverage
- No line of sight supervision from main service desk
- Poor work area in the lower level
- Poor lighting and glare
- No meeting rooms

The building has some newer equipment but most is beyond its useful life and it is not energy efficient. Examples include:

- Old building has no insulation in the walls
- Condensing units are mostly beyond their useful life
- Boiler is beyond its life although in good shape
- Surface mounted exposed ductwork

There are some code violations that need to be corrected. Examples include:

- Stair and rail dimensions
- Door clearances
- Fire protection

There are significant maintenance concerns. Examples include:

- Roof water infiltration, sealant work needed
- Poor condition of exterior stairs, front and back
- Poor condition of exterior stone and brick, sealant & tuckpointing needed
- Damaged plaster walls in basement level
- Heaved and cracked walk ways and paving

ADA compliance is a law and interpreted by the courts, compliance is required. Examples include:

- More than half of all entries and exits required to be accessible. One of three is.
- Restrooms have several minor items
- Door hardware, clearances and force used to operate
- Alarm systems for multiple senses

The building is structurally sound but the greatest enemy of any building is water infiltration. This is only a minor problem for the building currently.

A listing of all the items discovered during the 2017 survey follows along with photos of most of the concerned areas.

MAIN LIBRARY					
Building Area	Code/ Maintenance Item	Recommendation to Correct	Urgency Level	Costs	Photo Reference
Architectural - Interior					
Lower Level					
Director's and assistant's offices	Paint color is not appropriate	Repaint walls	Recommended	\$1,500	93,94
	Door Hardware should be lever handle	Replace hardware	Required	\$500	95
	Minimal power and data jacks	Install two additional power and one data jack	Required	\$1,600	
South Stairwell	The handrails do not extend beyond the top and bottom risers as required	Modify or replace handrails	Required	\$6,000	96, 97
Staff work room/ meeting room	Doors do not have a lever handles	Replace door handle and lock set	Required	\$1,500	126
	Space layout is awkward and does not provide required clear widths of travel	Minor remodel of spaces and doorways	Required	\$30,000	132
	Residential furnace unit exposed in the work room. So are radiant heaters	Create a mechanical closet to protect and enclose furnace unit	Recommended	\$7,500	127
	Asbestos floor tile and adhesive is still in about half the work room.	Abate and replace with consistent flooring	Recommended	\$12,000	131, 133, 138, 139
	Phone and data panels are exposed	Construct a closet to protect infrastructure	Recommended	\$6,000	140
	Main electrical panels are exposed into the work room	Construct fire rated closet around panels for protect and to eliminate obstructions		\$8,000	141,148
	Asbestos flooring in the break room	Remove, abate, replace with new	Required	\$7,000	131
	Asbestos pipe insulation covered but some cracks	Cover	Required	\$500	127
Staff stair well	Stair risers are 8" high. They can only be 7".	Replace	Required	\$30,000	134, 135
	Stair treads are 9" deep, they are to be 11" minimum depth	Replace	Required		136
	Stair and door width is only 27", required to be 36"	Replace	Required	\$2,000	137

MAIN LIBRARY					
Building Area	Code/ Maintenance Item	Recommendation to Correct	Urgency Level	Costs	Photo Reference
	The hand rails do not extend as required	Modify	Required	\$2,000	134
	There is no landing at the bottom of the stairs	Renovate	Required	\$20,000	134, 137
Boiler/mechanical room/storage	Boiler is well beyond its useful life and is very inefficient compared to newer models	Replace	Recommended	\$75,000	104
	West exterior wall has moisture in the wall and is flaking paint and eroding the plaster finish of the wall	Repair and fix water infiltration	Required	\$12,000	106, 107
	Shop sink is rusted and requires replacement	Replace	Recommended	\$2,000	113, 107
	Pump is old and should be replaced	Replace	Recommended	\$2,500	109
	Some pipe insulation is broken or missing. Some may contain asbestos	Test and remove	Urgent	\$8,000	110, 111
	Stone wall around doorway requires repair	Replace mortar	Recommended	\$2,500	114
	Stone window surrounds and wood window sills have degraded, rotted and sifted away. Water is coming in	Repair window units and sills. Concrete and mortar to provide finished condition at interior window sills	Urgent	\$12,000	116, 117
	Ceiling paint is pealed	Determine water issues, repair and repaint	Urgent	\$4,000	118
	Storage is over 100 SF and is not separated by a 60 minute fire rating	Construct fire rated storage enclosure	Required	\$10,000	119, 120
Basement exit stair	The translucent corrugated fiberglass roof panels are degrading	Replace with higher quality insulated roof	Recommended	\$8,000	144
	Concrete and stone wall are cracked and leaking water	Rebuild walls	Urgent	\$8,000	142
	Stairs are worn and paint is in disrepair	Clean and resurface with an epoxy coating	Recommended	\$5,000	143, 145

MAIN LIBRARY					
Building Area	Code/ Maintenance Item	Recommendation to Correct	Urgency Level	Costs	Photo Reference
	Stairs get wet with condensation causing a dangerous slipping hazard	Add texture and ventilate the space	Urgent	\$4,000	
	There is no landing at the top of the stairs	Reconstruct walls above	Required	\$6,500	145
	Handrails do not extend	Modify	Required	\$12,000	145
Lower Lobby	Elevator functions poorly	Modernize elevator & controls	Required	\$85,000	96
	Door hardware is not ADA compliant	Replace door hardware	Required	\$2,000	96, 95
Main Level					
South Stair well	Hand rails do not extend as required	Replace with continuous or extend handrails	Required	\$5,000	149, 152, 153, 159
	Peeling and chipping paint	Remove and repair	Required	\$500	
Adult collection	There is no exit sign at front entry	Provide exit sign	Required	\$500	165
	Exposed ductwork, electrical panels, etc	Modify to hide building infrastructure	Recommended	\$120,000	167
	Mezzanine stair is only 26" from shelving	Modify to provide 36" minimum	Required	\$6,000	168
	There are several locations where the below mezzanine shelving does not provide the required 36" clearance at the Baseboard heating covers	Modify shelving to provide 36" minimum	Required	\$16,000	171, 173
	The exit door is a step up and does not provide an area of refuge for handicap persons.	Provide area of refuge	Required	\$20,000	180
	Very minimal power and data outlets in area	Install six additional duplex and data receptacles throughout area	Recommended	\$7,000	
	Light switches are in breaker boxes	Move to switches not in breakers	Required	\$2,500	167

MAIN LIBRARY					
Building Area	Code/ Maintenance Item	Recommendation to Correct	Urgency Level	Costs	Photo Reference
Staff Stair	The staff stairwell is only 27" wide. Does not qualify as a required exit. There is no bottom landing.	Wide stair	Recommended	\$32,000	174, 175, 176
	There is only one hand-rail	Add second handrail	Required	\$2,500	176
	The electric water cooler does not provide dual height access as required	Modify or relocate to a place where a dual height can be provided	Required	\$8,000	177
Staff rooms	Door hardware is not ADA compliant	Replace door hardware	Required	\$1,500	177, 178
Restrooms	The womens restroom is not handicap accessible	Modify	Required	\$18,000	184
Mezzanine level					
Young Adult area	Stair handrails do not extend 12" beyond top riser level.	Extend handrails	Required	\$2,000	188, 189
	Ductwork is exposed and covers some of the original detailing of the building trim	Modify ductwork	Recommended	\$10,000	189

MAIN LIBRARY					
Building Area	Code/ Maintenance Item	Recommendation to Correct	Urgency Level	Costs	Photo Reference
	There is only one exit from the mezzanine that holds more than 10 occupants	Provide second exit	Required	\$30,000	189
Upper Level					
South Stair well	Handrails are not continuous and do not ext as required	Replace handrails	Required	\$12,000	198
Children's area	Children's areas exit through separate rooms to fire escapes	Provide a send fire rated exit stair	Required	\$60,000	207, 208
	Door hardware is not ADA compliant	Replace door hardware	Required	\$6,000	209, 210
	Paint has peeled between newer storm windows and original wood windows	Scrape prep and paint needed areas	Recommended	\$3,200	211, 212
	The electric water cooler is a single unit. Dual height is required	Replace with dual height	Required	\$8,000	216
Restrooms	Restrooms are not ADA compliant, 24" doors, room width, door hardware, fixtures, handrails, accessories	Modify	Required	\$40,000	218, 219, 220
Engineering Systems					

MAIN LIBRARY					
Building Area	Code/ Maintenance Item	Recommendation to Correct	Urgency Level	Costs	Photo Reference
Replace Galvanic Piping	The domestic water piping is a mix of copper and the original galvanized piping.	Remove and replace all galvanic piping.	Galvanic piping over time corrodes and builds up a layer of calcium resulting in low water flow and pressure loss. Replacing with copper piping will result in greater pressure at further fixture and minimize risk of pipe breaks. There is some potential O&M savings for this work resulting from potential pipe breaks.	\$20,000	107, 108, 109
Install Fire Protection System	The existing building is not sprinkled.	Add fire protection system to building.		\$120,000	
Condensing units	All four units are beyond their useful life and inefficient, several more than 30 years old	Replace all four units	Required	\$30,000	35, 36, 55, 56
Occupancy sensors	With standard switching lights do not get turned off wasting electricity	Install sensors in restrooms	Recommended	\$600	
Radiators	They have hand controls with no nighttime setbacks	Upgrade controls	Recommended	\$10,000	204, 205
	Radiators get very hot	Replace or provide covers	Recommended	\$12,000	
Window replacements	Windows are inefficient	Replace storm windows on upper floor	Recommended	\$40,000	10, 11, 12
Above ceiling air handling unit	Beyond its useful life and inefficient	Replace	Recommended	\$16,000	
First floor air handling unit	This is an older unit, fan and bearing have been replaced a few years ago	Replace unit	Recommended	\$20,000	

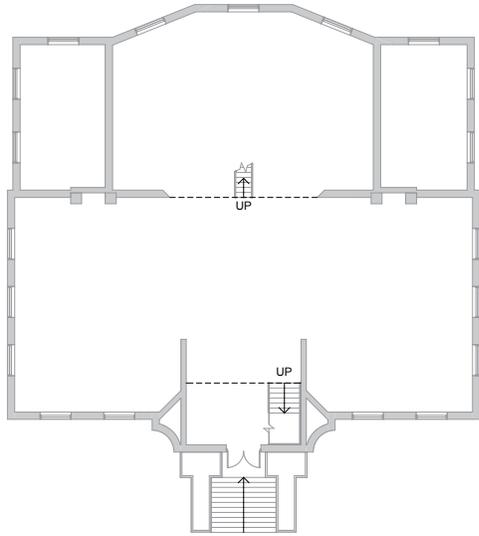
MAIN LIBRARY					
Building Area	Code/ Maintenance Item	Recommendation to Correct	Urgency Level	Costs	Photo Reference
Exterior Lighting	Existing exterior lighting is a mix of incandescent and H.I.D.	Install new LED fixtures for better safety, security, and energy efficiency.	Recommended	\$10,000	
Miscellaneous Electrical Items	A number of minor electrical issues should be addressed in the scope of a major remodel.	"• Minor revisions to lighting for revised room sizes and configurations. • Revise and expand existing fire alarm system. • Install new emergency lights."	Required	\$60,000	
Water heater and softener are new, 2015.					110
Security cameras	Lots of areas that are not visible	Add security cameras	Recommended	\$25,000	
Hand dryers	Restrooms currently use paper towels	Install electric hand dryers in all restrooms	Recommended	\$6,000	
Indoor air quality	Basement is humid and requires more air changes	Increase outdoor air and add reheat	Required	\$5,000	
Architectural Exterior					
Exterior	Front stone stairs are settling	Repair with new foundations	Urgent	\$32,000	4, 5, 257, 258, 260
	Basement hatch wall and lid is deteriorated	Replace	Urgent	\$10,000	230, 232
	At grade condensing unit is beyond its useful life. Conduit is corroded	Replacement of unit is noted above, replace conduit	Urgent	\$800	231
	Several locations where storm window gaskets have shrunk and are coming out.	Replace gaskets	Urgent	\$2,400	233, 234
	The rear entrance and stair enclosure is not ADA compliant and is not in keeping with the historic Library building	Remove and replace	Recommended	\$65,000	236
	Some electrical conduit is missing covers.	Replace wiring and provide cover	Urgent	\$1,200	239
	The west walk way has some heaved walk surface	Remove and replace with level concrete surface	Urgent	\$800	240, 241

MAIN LIBRARY					
Building Area	Code/ Maintenance Item	Recommendation to Correct	Urgency Level	Costs	Photo Reference
	Wood window frame at louver has peeling paint and deteriorated wood	Remove paint, repair wood, repaint	Recommended	\$800	242
	Electrical conduit at grade near the above window id=s corroded and missing sections	Replace	Urgent	\$800	242
	Wood detailing under windows is deteriorated	Repair and repaint	Recommended	\$5,000	243, 244
	Stone is spalling and some of the face is gone	Apply breathable crystalline sealer	Recommended	\$4,000	245
	Some of the mortar is missing from the stone joints.	Provide spot tuckpointing, stone repair sealer	Urgent	\$250,000	246, 247, 248, 249
	Wood windows need repair	Repair about 30 windows	Recommended	\$25,000	15, 16, 17, 18, 19
	At grade paving against the building is old and allows water infiltration	Seal up sill	Recommended	\$1,600	238
	Pigeons like the main entrance area	Install deterrent	Recommended	\$1,200	
	The northwest window sill is in bad shape	Rebuild window sill	Urgent	\$800	
	Roof requires some sealant work. The membrane is about 10 years old	Replace sealant where needed	Urgent	\$2,400	40, 43, 44
	Parking lot has many problem areas needing repair	Repair and cut through curb	Required	\$8,000	274, 275, 276
	Exterior surface electrical is exposed near downspout at back	Place wiring in conduit.	Required	\$1,200	26
	Chimneys require tuckpointing	Repair and tuck point	Recommended	\$2,600	64
	Exterior sidewalks are cracked heaved and surface is uneven	Replace	Recommended	\$8,000	35
	Basement windows are generally in poor condition	Replace windows. Provide type that will allow emergency egress if needed	Recommended	\$40,000	
Functionality issues	Shelving stacks are too high for reach, viewing and ADA access	Modify or replace shelving		\$80,000	

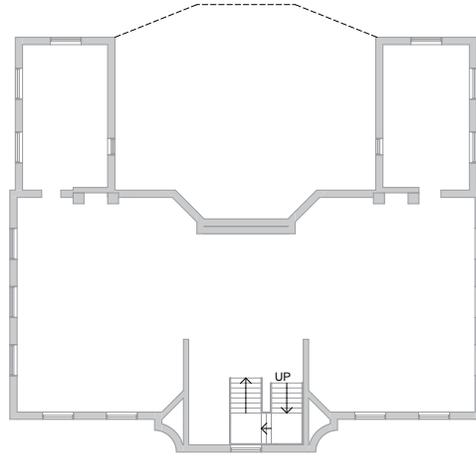
MAIN LIBRARY					
Building Area	Code/ Maintenance Item	Recommendation to Correct	Urgency Level	Costs	Photo Reference
	The library on two levels functions as two separate libraries				
	There is minimal signage	Provide flexible printed or electronic signage		\$8,000	
	Line of site is poor				
	There is very little wall space for display as a result of the numerous large windows				187
	The collection is not secure	Add RFID and security gates	Recommended	\$250,000	
	The printing is cumbersome	Provide a print release station on the main floor		\$2,000	
Total cost expectation at Main Library				\$1,983,500	

LYONS BRANCH LIBRARY					
Building Area	Code/ Maintenance Item	Recommendation to Correct	Urgency Level	Costs	Photo Reference
Architectural - Interior					
Main Level					
North Entry doors	The door closer is worn out. It closes with full force with no hold	Replace doors	Required	\$8,000	87, 90
Men's restroom	The door jamb on the knob side is too close to the wall. Must be a minimum 12" on the push side and 18" on the pull side	Move the door	Required	\$3,000	80, 81
	The toilet is behind the door and does not allow adequate space as required by ADA	Move toilet	Required	\$5,000	79
Women's restroom	The door jamb on the knob side is too close to the wall. Must be a minimum 12" on the push side and 18" on the pull side	Move the door	Required	\$3,000	78

LYONS BRANCH LIBRARY					
Building Area	Code/ Maintenance Item	Recommendation to Correct	Urgency Level	Costs	Photo Reference
	The toilet is behind the door and does not allow adequate space as required by ADA	Move toilet	Required	\$5,000	78
Staff work area	The staff sink is not ADA compliant	Swap out sink base for a ADA compliant lavatory	Required	\$2,000	69
Exterior					
North Entry	The north entry has a step, more than half of entries need to be ADA compliant. This needs to be corrected	Replace with continuous or extend handrails	Required	\$5,000	90
North west planter wall	Stone of wall is broken loose	Repair stone wall	Recommended	\$500	89
South entrance ramp	Handrails are not compliant	Modify rails to comply with ADA requirements	Required	\$2,200	83, 84
South parking lot	The light level is low at night, security is an issue	Provide additional exterior lighting and video camera	Recommended	\$3,000	
Windows	The windows are worn out and not energy efficient	Replace 30 windows	Recommended	\$25,000	83, 84, 85, 86, 87
Roof	The membrane roof has been resealed	Replace roof in five years	Recommended	\$20,000	
Parking	The handicap parking is not ADA compliant	Modify as needed	Required	\$2,500	83
Total cost expectation at Lyons				\$84,200	

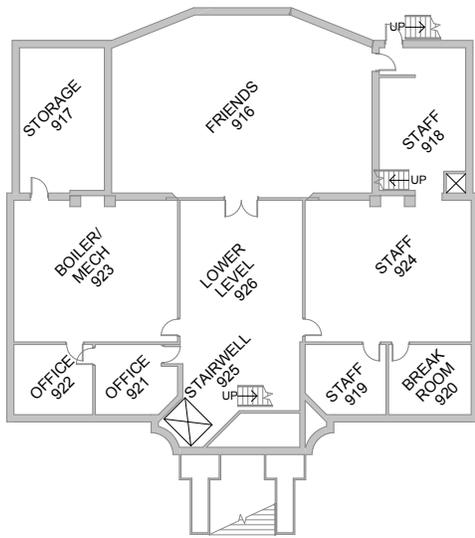


1 MAIN FLOOR PLAN
SCALE: 1/16" = 1'-0"

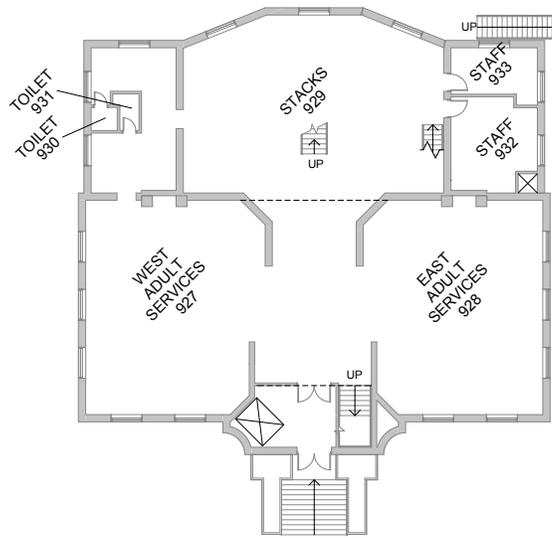


2 UPPER FLOOR PLAN
SCALE: 1/16" = 1'-0"

	FEH DESIGN	Des Moines, IA Davenport, IA Sioux City, IA (515) 281-5000 (515) 333-4500 www.FEHDESIGN.COM
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Project Name	OWNER	CLINTON PUBLIC LIBRARY
Project Number	2017313	308 8th Ave S, Clinton, IA 52732
Date Issued	09/18/17	2017
Date Revised		
Sheet		A1.0



1 BASEMENT FLOOR PLAN
SCALE: 1/16" = 1'-0"



2 MAIN FLOOR PLAN
SCALE: 1/16" = 1'-0"

	Project No. OWNER CLINTON PUBLIC LIBRARY 306 8th Ave S, Clinton, IA 52732	Date Issued: 2017 Date Revised: 09/19/17
	Sheet No. BASEMENT AND MAIN FLOOR PLAN	Project Number 2017313
Site: Clinton, IA Designer: Dan Moore, IA Designer: David Witt, IA Phone: (515) 252-3899 Phone: (515) 252-3000 Fax: (515) 252-3000 Email: info@fehdesign.com Website: www.fehdesign.com		



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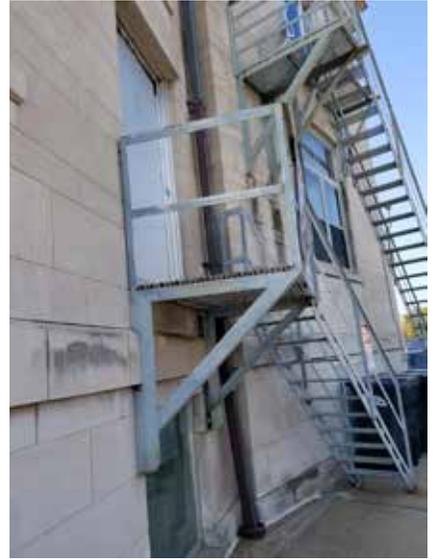
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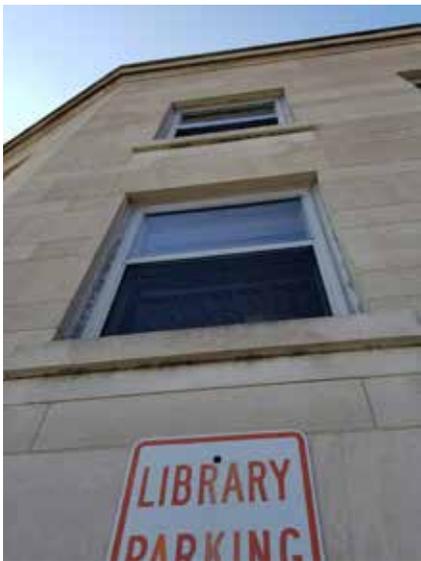
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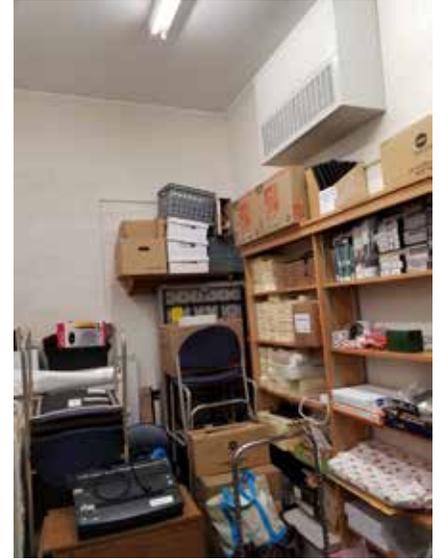
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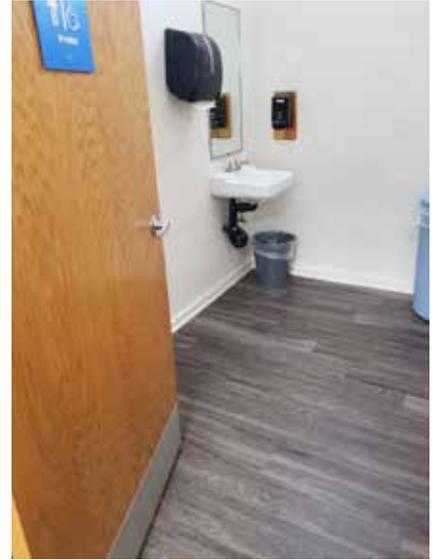
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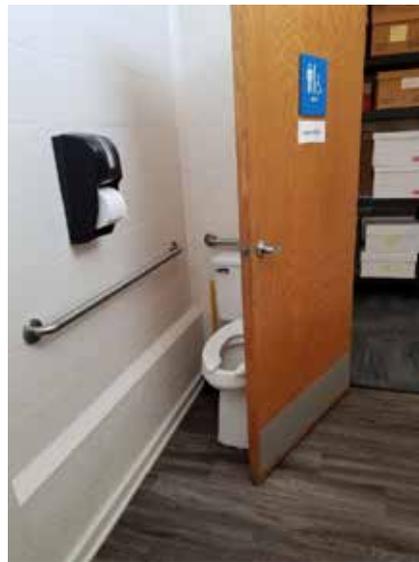
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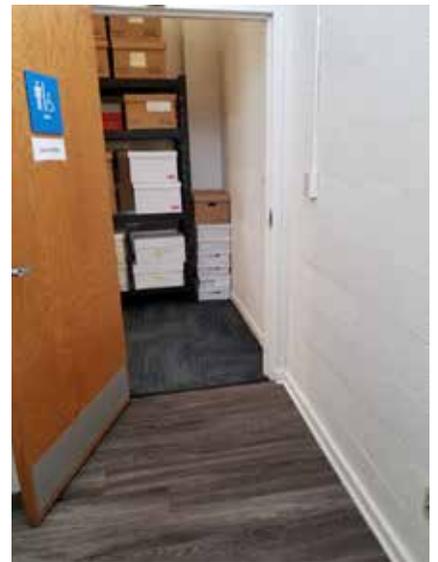
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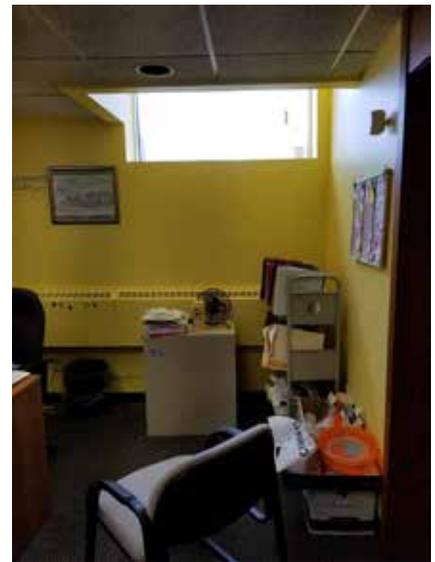
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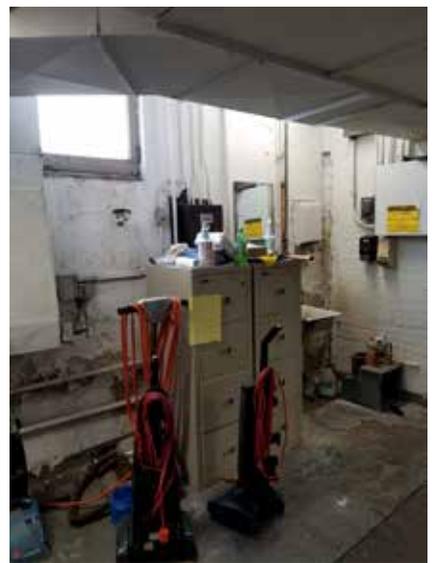
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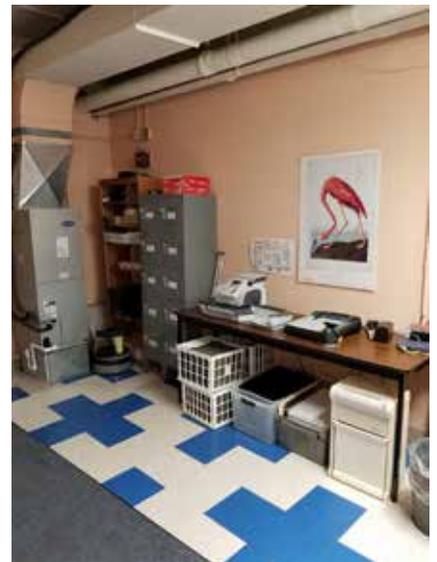
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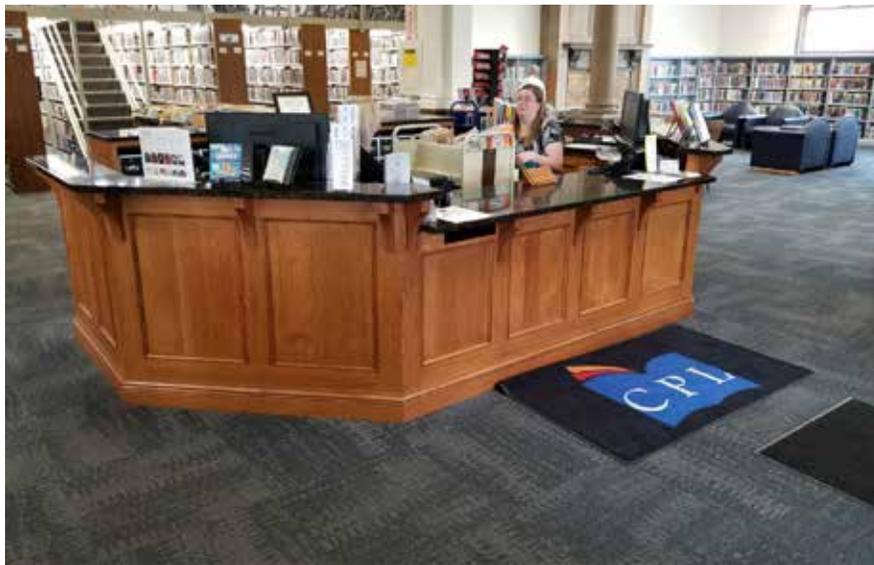
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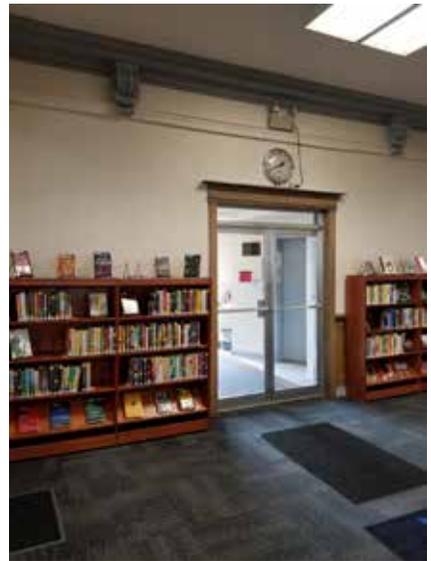
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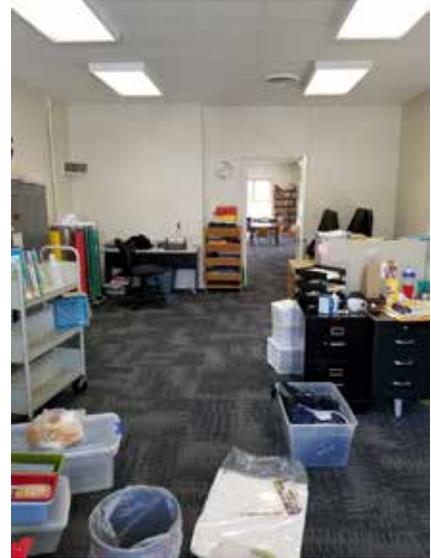
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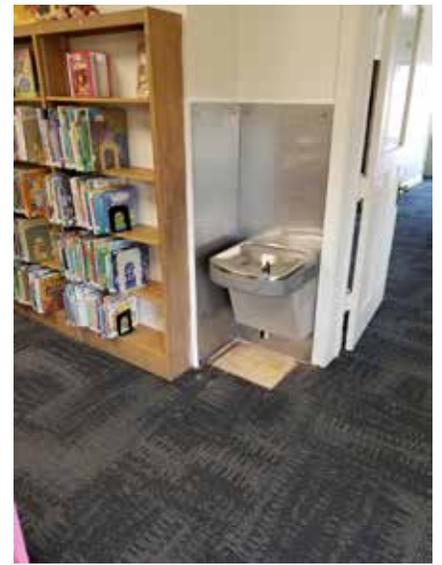
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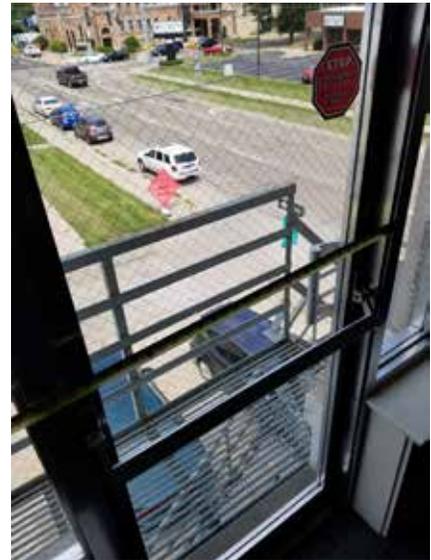
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